
EAST CAPITOL DRIVE REDEVELOPMENT AREA MASTER PLAN

VILLAGE OF HARTLAND
WAUKESHA COUNTY, WISCONSIN

FINAL REPORT
DECEMBER/2011

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INTRODUCTION

Project Background

For the past several years, the Village of Hartland has been planning for the revitalization of the Village Center. One of the objectives of the Village's Comprehensive Plan is the continual proper care of the Village Center as a vital civic, business and cultural center for the Hartland area to ensure a viable, long-term business environment. In 2007, the Village adopted the "Hartland Village Center Revitalization Plan", establishing design principles and strategies for the revitalization and redevelopment of the Village Center. In 2008, the Village created Tax Incremental District No. 4, which includes the Village Center area.

The Village recently purchased and demolished two single-family residences in the Village Center area that were located within the mapped floodplain of the Bark River. FEMA established revised floodplain maps during 2008. Since that time, the Village and two other municipalities completed a floodplain study to challenge the floodplain location identified on the 2008 FEMA map panels. The results of this study show that the actual 100-year floodplain elevation and line is much closer to the Bark River. The Wisconsin Department of Natural Resources has approved this study the subsequent request for a Physical Map Revision (PMR) and it is currently being reviewed by FEMA. It is anticipated that the final approval of the PMR and reissuance of the FEMA map panels for the Village Center area will be completed within 12- to 18-months. The Village is also pursuing a site specific Letter of Map Amendment (LOMA) in an effort to speed the process of revising the floodplain for this planning area. With the proposed revised floodplain boundaries being significantly closer to the Bark River, additional areas are available for redevelopment on properties north of Capitol Drive and east of the Bark River. Consequently, the Village undertook this redevelopment plan for properties in this area, as a refinement of the Village Comprehensive Plan and the Village Center Revitalization Plan.

Planning Area

The planning area includes ten properties, totaling approximately 3.8 acres, located in the Village Center. The area is roughly defined by Capitol Drive to the south, the Bark River to the west, Lawn Street to the north, and First Congregational Church to the east. It is located in the historical and geographical heart of the Village of Hartland, just east of the intersection of Capitol Drive and North Avenue/CTH E and less than a mile south and west of the CTH KC / STH 16 interchange.

Objectives and Standards

The objectives and standards for the planning area incorporate and refine goals and objectives from the Comprehensive Plan and the Village Center Revitalization Plan.

Objective: Enhance the vibrancy of the Village Center with housing that is convenient and accessible to downtown businesses and recreational opportunities.

- Incorporate multi-family residential development into the site development plan in a manner that is harmonious with existing residential uses to the north and east of the site.
- Encourage use of downtown businesses by providing convenient pedestrian access to businesses on both sides of the Bark River.

Objective: Encourage a variety of compatible and complementary uses with a site design that builds on the strengths and existing character of the Village Center.

- Develop a plan for the continuation of the existing uses and/or the addition of new uses that are complimentary in nature and scale
- Develop a site design for the layout of buildings, transportation facilities and parking that positively shapes public spaces
- Develop a site design for the layout of buildings, transportation facilities and parking that creates the desired patterns identified in the Village Center Revitalization Plan, specifically:
 - What's around the corner?
 - View terminus/focus
 - Outdoor room/hidden garden

Objective: Ensure convenient and ready access for vehicles and pedestrians.

- Place parking lots behind buildings, not in front
- Provide a continuous network of sidewalks, paths and other streetscape amenities not only around the perimeter of the site but within the interior of the site
- Provide shared parking and access
- Improve vehicle and pedestrian connectivity between Lawn Street and Capitol Drive

Objective: Capitalize on and improve development orientation towards the Bark River.

- Improve connectivity between development on the east and west sides of the River
- Make the River a focal point of the site design
- Improve the recreational opportunities on the east side of the riverfront

EXISTING CONDITIONS ANALYSIS

Property Ownership

The site includes nine whole properties, two of which are owned by the Village of Hartland, and a portion of a tenth property that is also owned by the Village of Hartland. There a total of six property owners, as shown on Figure 1.

East Capitol Drive Redevelopment Area Master Plan Village of Hartland

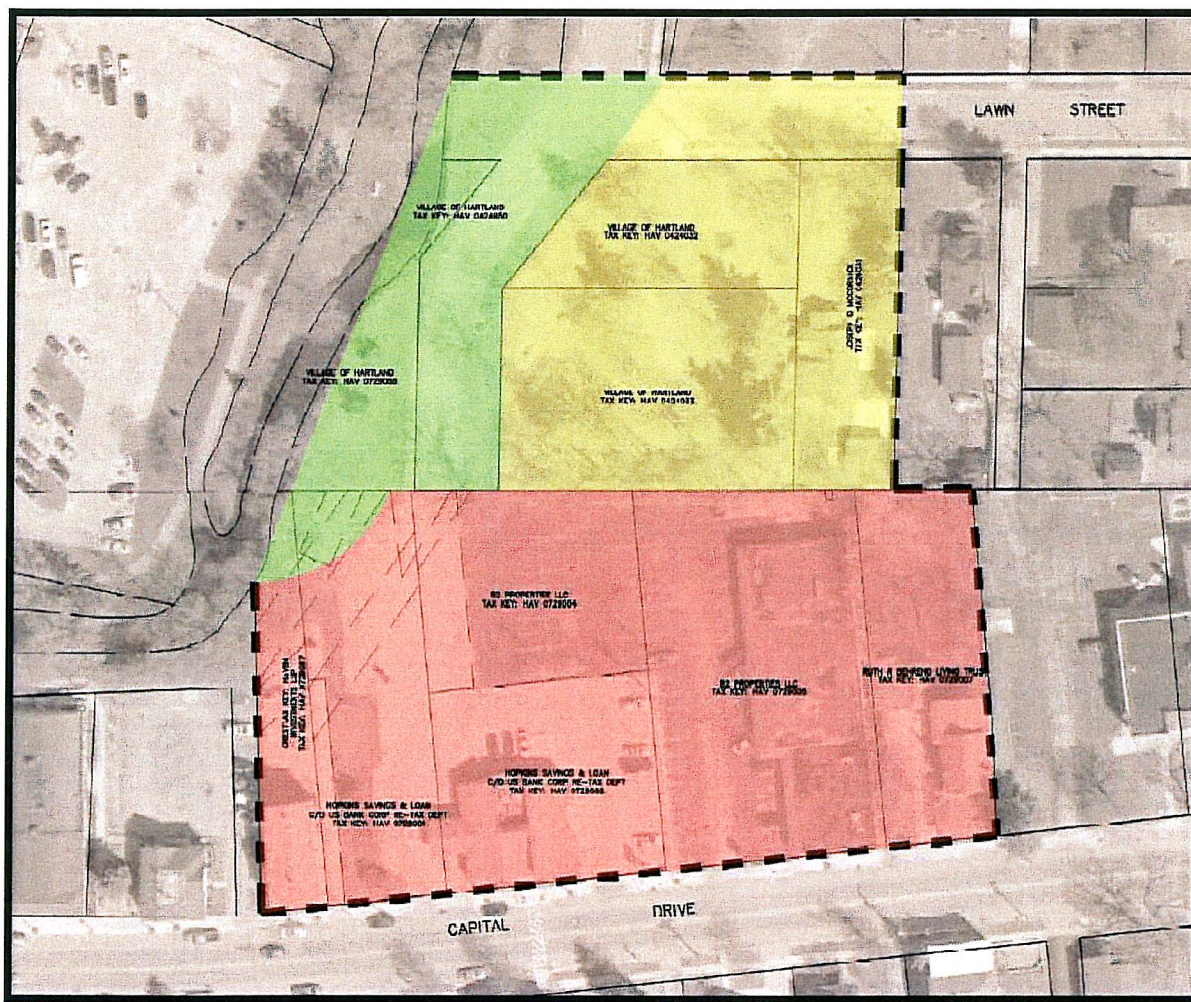


Figure 1: Property Ownership

LEGEND

— — — —	STUDY AREA BOUNDARY
Yellow	RESIDENTIAL ZONING
Red	BUSINESS ZONING
Green	FLOODWAY OVERLAY

Existing Zoning and Land Use

As shown on Figure 1, the northern half of the site is currently zoned Rs-4, which permits single-family residential development at densities of not more than 4.3 units per acre. The southern half of the site is zoned B-3 Central Business/Mixed Use District. This district is intended to provide appropriate development regulations to ensure the compatibility of the diverse uses typical of a downtown area, without inhibiting the potential for maximum development of commercial, cultural, entertainment, residential and other urban activities which contribute to its role as the heart of the village. Development and redevelopment in the B-3 district must be

East Capitol Drive Redevelopment Area Master Plan Village of Hartland

designed and sited in such a manner to be compatible with the planning and design guidelines in the adopted Village of Hartland Master Plan and Hartland Village Center Revitalization Plan.

Figure 2 shows the current land uses on the site. Existing land uses on the northern half of the site include one single-family residence and two vacant properties where single-family homes were demolished. Directly to the north of the site is an existing single-family neighborhood. The southern half of the site, which faces Capitol Drive, is a mix of commercial uses—a bank with a drive through window, a strip commercial center, a realty office, and a real estate/insurance agency.

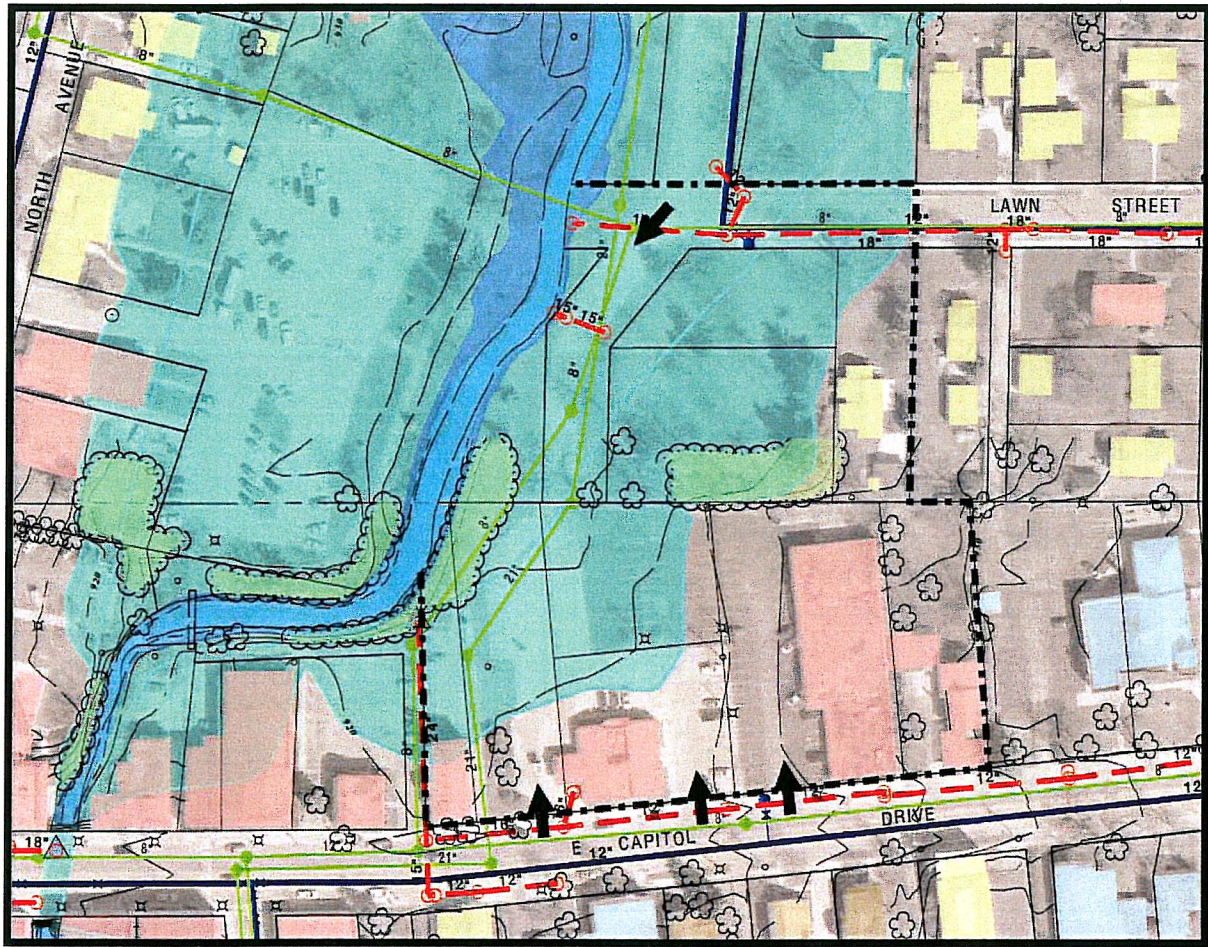


Figure 2: Existing Conditions

LEGEND

-----	PLANNING AREA
—————	EXISTING WATER MAIN
—————	EXISTING SANITARY SEWER
—————	EXISTING STORM SEWER
←	ACCESS POINTS
—————	2' CONTOURS
—————	PROPOSED REVISED 100-YEAR FLOOD PLAIN
—————	2008 100-YEAR FLOOD PLAIN (FROM GIS)
Yellow	RESIDENTIAL USE
Pink	COMMERCIAL USE
Light Blue	INSTITUTIONAL USE

Topography and Natural Features

The site slopes down in a northwesterly direction, toward the Bark River. The total change in elevation over the site is approximately 16 feet, for a moderate overall slope of 3-3.5 percent. The most prominent natural feature of the area is the Bark River on the western edge of the site. The banks of the river are significantly eroded. On the northern portion of the site the riverbank is grassy with a few mature trees. Along the southern portion of the site, the riverbank is vegetated with a mix of mature trees, small trees and brush.

Other natural features include a wooded area in the center of the site and several large trees on the northern half of the site.

Transportation and Access

Primary vehicular traffic routes near the site include Capitol Drive, Church Street and North Avenue. Secondary routes include Lawn Street and Oak Street. Access to STH 16 is less than a mile from this site, via Capitol Drive, North Avenue and Merton Avenue/CTH KC. Direct vehicular access to the site is currently provided via Oak Street which extends into the northern portion of the site and several private driveway access points onto Capitol Drive. Internal vehicle circulation is provided by a large expanse of off-street parking adjacent to the bank and commercial strip center.

Facilities for safe and comfortable pedestrian access are provided by sidewalks around the perimeter of the area, along Capitol Drive, Church Street and Lawn Street. There are currently no convenient and safe pedestrian routes connecting the northern portion of the site and the residential neighborhood along Lawn Street with the businesses on the southern portion of the site or on the west side of the Bark River. While there is a pedestrian bridge over the Bark River located to the west of this site, the bridge is not readily accessible to properties on this site. Pedestrian circulation in the interior of the site is discouraged by the lack of any interior sidewalks, paths, crosswalks, or parking lot islands.

Parking

The site currently has a large number of parking spaces. A visit to the site on a Friday afternoon indicated that there are significantly more parking spaces than are needed on a weekday. The Village ordinances allow for parking in a B-3 district to be provided either on-site or by other public parking within 400 feet of the principal use. This site is within 400 feet of public parking along Capitol Drive and the municipal parking lot on the west side of the Bark River, if the site were connected to the west side of the river via a pedestrian bridge.

Utilities

Overhead utilities cut through the middle of the southern portion of the site. Two sanitary sewer lines, including a 21-inch diameter trunk sewer, run through the western edge of the site. There are three storm sewers draining to the Bark River—one along Capitol Drive and the western edge of the site, one along Lawn Street, and one from the two vacant lots crossing under Oak Street.

Storm Water Drainage

All storm water drainage within the planning area flows to the Bark River. There is a storm sewer system on Capitol Drive that is conveyed through a storm sewer pipe within Village right-of-way with a direct discharge to the Bark River. Additionally, the central areas within the site drain overland northerly and westerly to Lawn and Oak Streets and collect within the Village's storm sewer system with two direct discharges to the Bark River.

Floodplain

As discussed above, the Village has submitted a PMR to FEMA to change the floodplain elevations along the Bark River through the Village Center corridor. The existing 100-year flood plain elevation within the planning area is 921.0. The proposed revised 100-year flood plain elevation within the planning area ranges from 913.5 to 914.5. This results in the flood plain boundary moving significantly closer to the Bark River, essentially following the top of the bank on the eastern side. See Figure 2 for the existing and proposed revised 100-year flood plain elevations.

The site plan alternatives were developed under the assumption that FEMA will approve the proposed revisions to the flood plain elevation.

Other Redevelopment Plans

A site redevelopment plan has been submitted to the Village for the redevelopment of the property directly west of the planning area. The plan calls for a 3-story mixed use building with ground floor parking and retail, and professional offices in the upper stories. In order to provide the required amount of parking, this plan shows the parking lot behind the building extending to the edge of the wooded area along the river's edge. This would effectively block pedestrian access from the planning area to the pedestrian bridge to the west of this property, except through the parking lot or through the driveway access to Capitol Drive and towards and through the Ice Age Trail alleyway along the east side of Palmer's Steak House. As of October 2011 this site development plan has been approved by the Village Board. The construction of the Project is underway with completion anticipated by Mid-2012.

ISSUES AND OPPORTUNITIES

Potential Land Uses

The Village has had inquiries regarding the development of multi-family residential on the northern half of this site. The current zoning, as well as the planned land use, for those properties is single-family residential use. However, the addition of higher-density housing at that location could support the revitalization of the Village Center by bringing in new residents who may patronize local businesses. In addition, multi-family development could serve as a buffer between the businesses along Capitol Drive and the single-family residential development north of Lawn Street. The Village Center Revitalization Plan supports such development.

The southern half of this site faces Capitol Drive and is the eastern gateway to the Village Center. The Village Center contains a variety of compatible small-scale uses catering primarily to the local community, including offices, personal and professional services, retail, and entertainment. Redevelopment of this portion of the site should provide for a similar mix of

uses, with an emphasis on uses that benefit from pedestrian traffic and proximity to the pedestrian trail and the river, as well as residential, restaurant and entertainment uses that could support the vibrancy of the Village Center throughout the day. Examples would include a restaurant with an outdoor seating area in the rear, or mixed use buildings with offices or residential on the upper stories and ground-floor retail and personal services. The existing bank with a drive through window is a conditional use for the B-3 zoning district, and is not an ideal use for this site. However, this particular use could be more compatible with a better site design.

Property Ownership

Multiple property owners on this site will make land assembly challenging. On the northern half of the site, the Village of Hartland owns two properties and the developer that is proposing multifamily housing units owns the third property. There is only one building remaining on this part of the site. Therefore, this portion of the site could be redeveloped in the near future. The southern portion of the site will require additional time and effort to assemble the properties and arrange for the relocation of existing businesses, either on the redeveloped site or elsewhere. Therefore, it is likely that redevelopment will take place in two or more phases. However, a coherent, integrated plan should be developed for the entire site.

Riverfront and Open Space Corridor

Redevelopment of this site presents several opportunities to improve the riverfront as a passive recreational area and an amenity for Village Center businesses and residents. Specifically, consideration should be given to:

- Restoration of the eroding shoreline
- Restoration of the wooded area along the riverfront on the southern half of the site
- Installation of a pedestrian trail or pathway on the eastern side of the river along the edge of the subject site.
- Installation of a pedestrian bridge over the river in the vicinity of Lawn Street, linking the planning area to the trail, municipal parking lot and businesses on the west side of the river
- Establishment of public open space along the riverfront on the western edge of this site.
- Orientation of development on the site to take advantage of the riverfront area as an amenity

Pedestrian Circulation

Redevelopment of this site presents several opportunities to improve pedestrian circulation within the site, as well as connections to other parts of Village Center. Specifically, the site should be designed to improve safety and convenience for pedestrians by providing pedestrian routes throughout the site and minimizing the distance which pedestrians must walk across parking lots. This can be accomplished with sidewalks, marked pedestrian crosswalks and landscaped parking lot islands. In addition, consideration should be given to providing a direct north-south pedestrian route and providing more convenient access to the businesses on the west side of the Bark River via a pedestrian bridge.

Capitol Drive Frontage

The Village Center Plan recommends creating a deeper retail street frontage along East Capitol Drive by moving the build-within zone back from the public right of way. In addition, redevelopment of this site will provide the opportunity to orient retail buildings toward the street frontage, and reduce the amount of frontage occupied by parking lot.

Integration with the Existing Residential Neighborhood

The proposed multifamily housing on the northern half of this site poses some challenges in terms of integration with the existing single-family residences immediately to the north and east of this site. Consideration should be given to minimizing the impact on the single-family neighborhood. The location and architectural design of the building(s) should be done in a way that reduces the visual bulk of the building(s) and maintains views of the river, if possible. In addition, careful consideration should be given to ways to minimize traffic impacts on Lawn Street and Oak Street. It is likely that the majority of the traffic to the northern half of the site will enter the site from the north, via Lawn and Oak Streets from North Avenue. However, if convenient access to the multifamily units is provided from Capitol Drive, this may divert some of the traffic from Oak Street.

Water Utilities

A software model of the Village of Hartland water distribution system was used to determine the flows available to the proposed redevelopment.

Two water main configurations were modeled. The first was a dead end 8" main connected to the 12" main in Capitol Dr. and terminating with a hydrant located approximately 300' north between the parking lot and the 44 unit multi-family building. The second configuration extended the dead end main north to connect to the main in Lawn St. The modeling results included determining the individual flows available to the new hydrant and to the existing hydrants adjacent to the site on Capitol Dr. and Lawn St., and the flow available to these hydrants as a group.

Either configuration is capable of providing sufficient fire and consumptive flows to the proposed development. The configuration connecting to the main on Lawn St. is recommended for a number of reasons. Connected, or looped, (i.e. not dead end) water mains provide better reliability and water quality. Also, fire flows are improved to the existing hydrant on Lawn St.

A single new hydrant and its location were assumed, but, depending on the final design of the site and buildings, additional hydrants and/or other hydrant locations may be more appropriate. The Village Fire Chief should be consulted regarding preferred locations for hydrants and building sprinkler standpipe connections.

It is assumed that the multi-family buildings will have fire suppression sprinkler systems. The minimum lateral size for sprinklered buildings is 6". While a 6" lateral may be adequate, without knowing more about the design of the buildings, an 8" lateral is recommended for planning purposes. The metered supply connection would be smaller and could be tapped off the larger pipe inside the buildings.

Service to the commercial buildings on Capitol Dr. could be provided by individual 1-1/2" laterals connected to the main in Capitol Dr. To reduce the number of excavations in Capitol Dr., two adjacent commercial buildings could each be supplied by a short 2" main terminating in the turf area between the buildings. Individual 1-1/2" laterals would be run from the end of each 2" main into each building.

Sanitary Sewer Utilities

The Village has a Sanitary Sewer Study Planning Document that originated in 1993 with subsequent updates in 2000, 2001, 2002, 2008 and 2010. The purpose of this document is to provide an understanding of the Village's wastewater collection and conveyance system and to allow for orderly development and corresponding upgrades to the sanitary sewer system. There are currently two sanitary sewers in proximity to the site that could be utilized for discharging wastewater. Both of these sewers are on the western side of the site and flow from north to south. The 21-inch sanitary sewer is referred to as Trunk Sewer 1 and the 8-inch sanitary sewer is referred to as Trunk Sewer 2 in the aforementioned planning document. Based on the existing and planned land uses it is anticipated that there will be an additional 85 to 95 dwelling unit equivalents (DUE's) that will generate wastewater flows. This corresponds to an approximate 0.18 cubic feet per second (CFS) of wastewater flow that needs to be discharged to either Trunk Sewer 1 or 2.

For the purpose of this redevelopment plan it is recommended that the wastewater flow for the additional DUE's from the multi-family buildings be combined in one service and connected to Trunk Sewer 1 at Manhole D046. The wastewater flow from the additional DUE's from the commercial buildings along Capitol Drive should be directed to the sanitary sewer in Capitol Drive, most likely in a common trench with the water services.

The above ground and below ground foundations of the new buildings should be located at no less than a 1:1 slope from the flowline of the existing sanitary sewers. This will allow for the availability of working area for ongoing maintenance of the sanitary sewers.

Storm Water Management

Based upon the conceptual site re-development layout, the future developer would be exempt from the Village of Hartland Storm Water Management Ordinance because the impervious areas following construction are anticipated to be less than existing impervious areas. The Village desires to see some minor storm water BMP's to improve storm water discharge quality to the Bark River. These BMP's could be rain gardens in the court yard area of the multi-family buildings that would also function as an aesthetic feature. Storm sewer shall be sized in accordance with the Municipal Code and the developer shall develop an erosion control plan.

Wooded Areas

A Village Tree Protection Permit will be required for this site redevelopment. This will require an inventory of the existing types and sizes of trees on the site. The landscape plan will need to include tree replacements to compensate for the impact to the existing trees on the site.