

LAKE COUNTRY LUTHERAN

- STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSSWCW)
- THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
- WSDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
- VILLAGE OF HARTLAND STANDARDS & REQUIREMENTS FOR DEVELOPMENT, LATEST EDITION.

EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.

THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY

PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

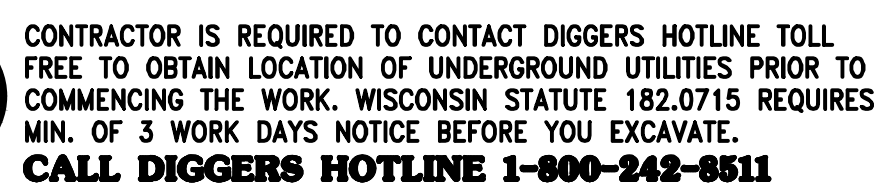
ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.

THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS AS REQUIRED BY MUNICIPAL ORDINANCE.



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NOTE:
EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



REVISION HISTORY	
DATE	DESCRIPTION
07/02/20	PRELIMINARY SUBMITTAL

T1



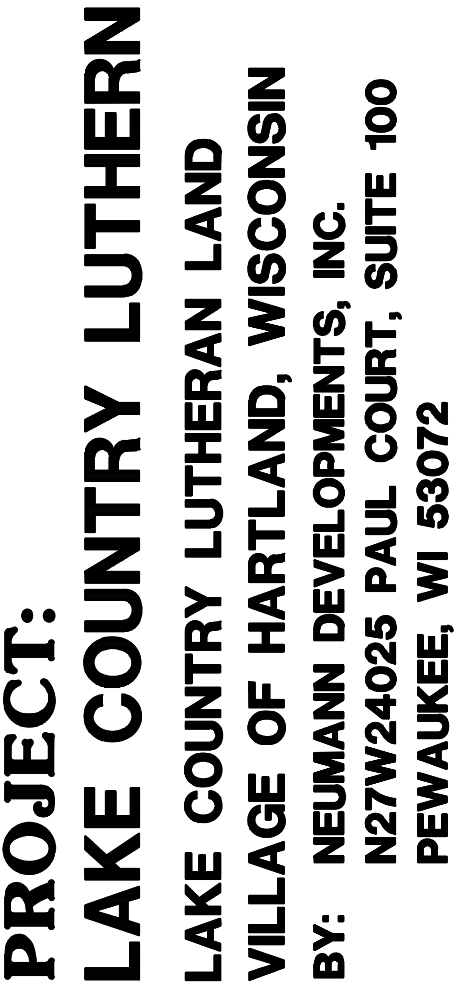
isolated Natural Resource Area boundary shown (in orange) hereon was delineated by Heartland Ecological Group Inc. in February 2020.

Isolated Natural Resource Area boundary shown (in orange) hereon was delineated by Heartland Ecological Group Inc. in February 2020.

ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN
STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH
THE NORTH LINE OF THE S.W. 1/4 OF SECTION 34, TOWN 8 NORTH,
RANGE 18 EAST, BEARS N89°54'10"E.

All elevations are referenced to the National Geodetic Vertical Datum of 1929 via a ground survey by Trio Engineering, LLC. and Waukesha County GIS topographic data.

Scale: 1" = 300' (11"X17")



DATE	DESCRIPTION
7/02/20	PRELIMINARY SUBMITTAL

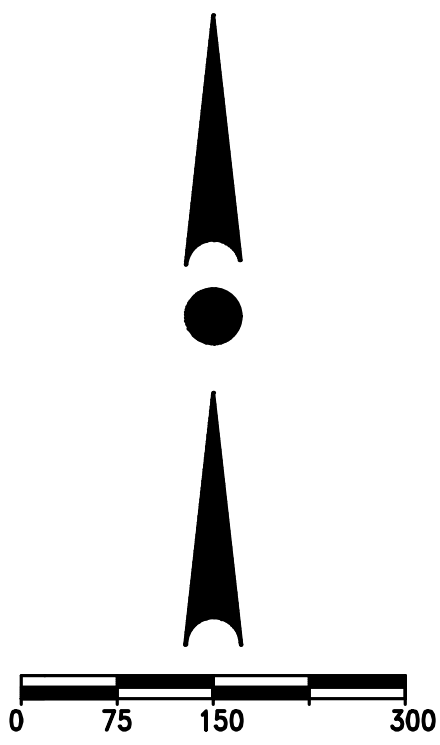
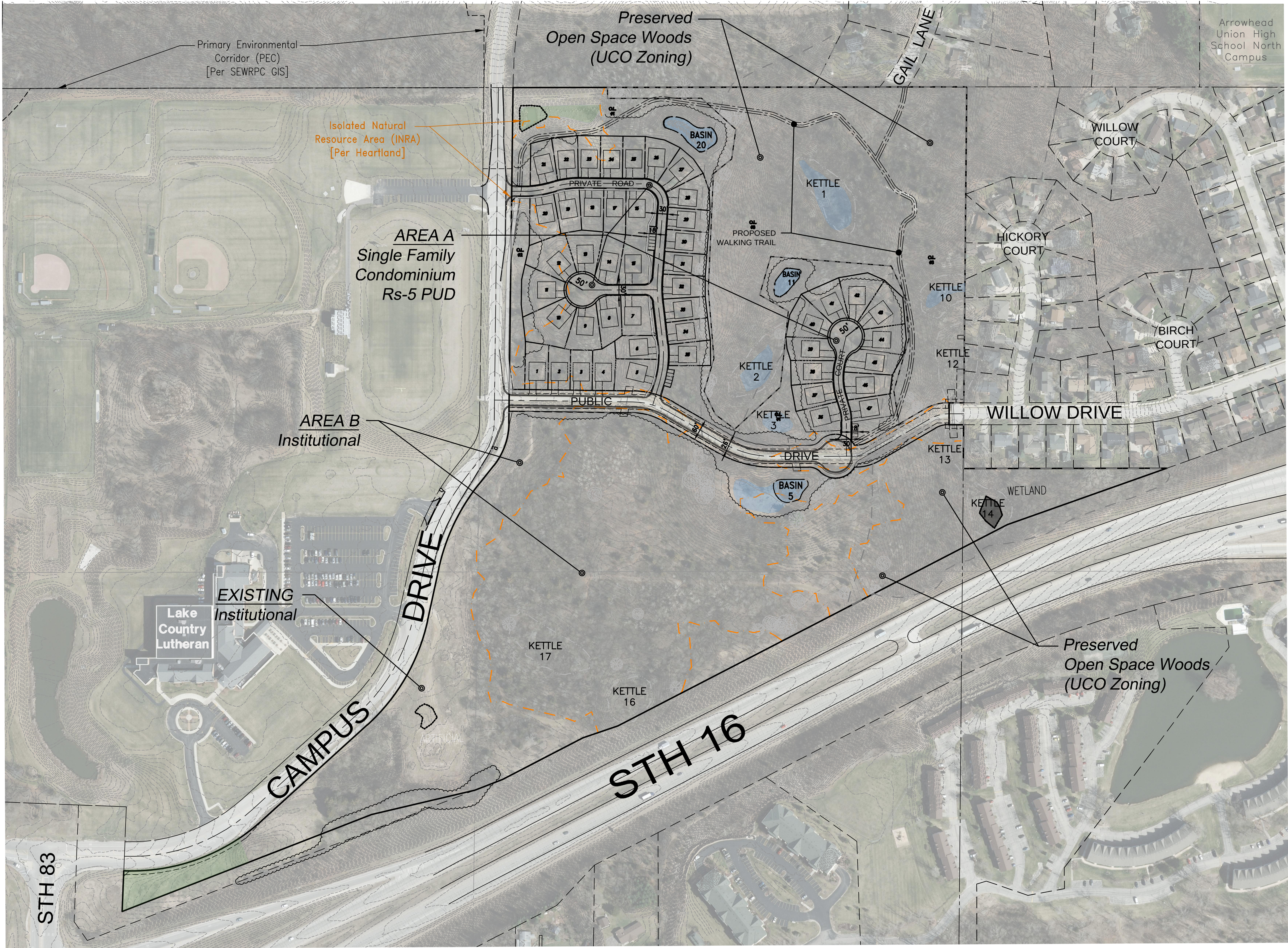
DATE:
JULY 2, 2020

JOB NUMBER:
19023-953

EXISTING SITE PLAN

CO.10

H:\C900\953\19023-01\CONSTRUCTION PLANS\UCL NORTH\CVIL_LCL NORTH_SITE PLAN-22X34.DWG



Scale: 1" = 150' (22"x34")
Scale: 1" = 300' (11"x17")

Exhibit B - Site Plan

DEVELOPMENT SUMMARY

Total Area	
Area A - RS-5 (PUD)	= 27.435 acres
Area B - Institutional	= 16.968 acres
Existing Institutional I-1	= 8.910 acres
Total Area	= 53.313 acres

Proposed UCO (Isolated Natural Resource Area)	
Area A - UCO	= 11.018 acres
Area B - UCO	= 4.246 acres
Proposed UCO Area	= 15.264 acres

AREA A Development Summary

- Total Area:	27.435 acres
- Public Road Dedication	-1.746 acres
- UCO Area:	-11.018 acres
- Net Area:	14.671 acres

- Proposed Zoning:	RS-5 PUD
	"Clustered Conservancy Community"

- 47 - Single Family Condominiums	
- Net Density = 47 / 14.671 = 3.20 units/acre	

AREA B Development Summary

- Total Area:	16.968 acres
- UCO Area:	- 4.246 acres
- Net Area:	12.722 acres

- Existing Zoning:	I-1
	"Institutional"

ISOLATED NATURAL RESOURCE AREA NOTE:

Isolated Natural Resource Area boundary shown (in orange) hereon was delineated by Heartland Ecological Group Inc. in February 2020.

HORIZONTAL DATUM PLANE:

ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE NORTH LINE OF THE S.W. 1/4 OF SECTION 34, TOWN 8 NORTH, RANGE 18 EAST, BEARS N89°54'10"E.

VERTICAL DATUM PLANE:

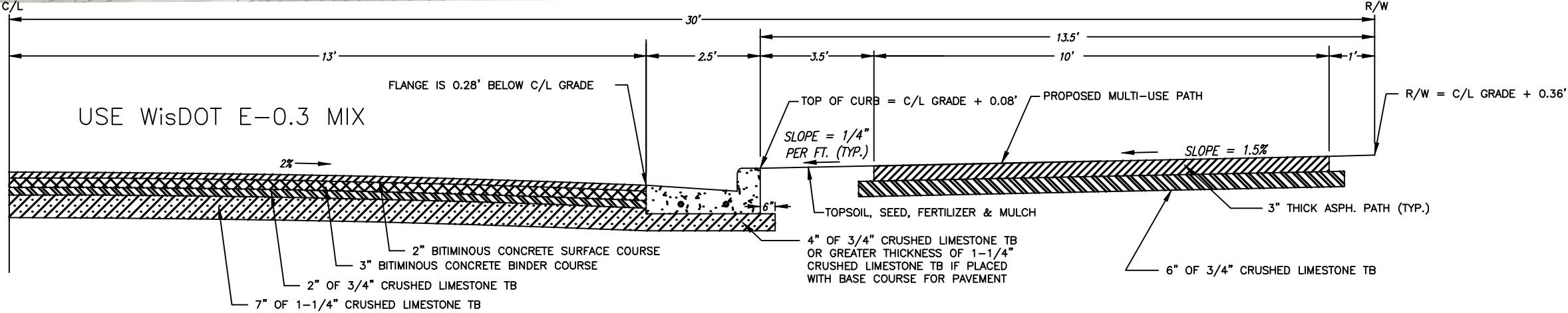
All elevations are referenced to the National Geodetic Vertical Datum of 1929 via a ground survey by Trio Engineering, LLC. and Waukesha County GIS topographic data.

DEVELOPER:

NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072
PHONE: (262) 542-9200
FAX: (262) 349-9324

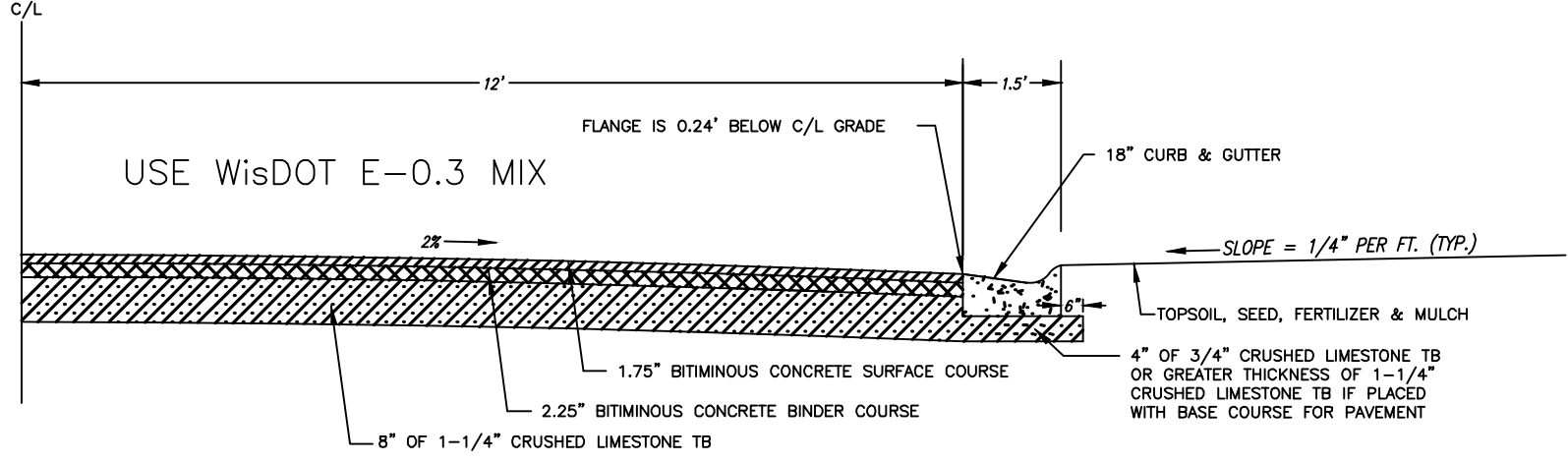
ENGINEER / SURVEYOR:

TRIO ENGINEERING, LLC
4100 N CALHOUN ROAD, SUITE 300
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481



TYPICAL PUBLIC ROAD CROSS SECTION
26' PAVEMENT WITH 30" STANDARD CURB

NOT TO SCALE



TYPICAL PRIVATE ROAD CROSS SECTION
24' PAVEMENT WITH 18" MOUNTABLE CURB & GUTTER

NOT TO SCALE



4100 N. CALHOUN ROAD
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: info@trioeng.com

PROJECT:
LAKE COUNTRY LUTHERAN
LAKE COUNTRY LUTHERAN LAND
VILLAGE OF HARTLAND, WISCONSIN
BY: NEUMANN DEVELOPMENTS, INC.
N27W24025 PAUL COURT, SUITE 100
PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
07/02/20	PRELIMINARY SUBMITTAL

DATE:
JULY 2, 2020

JOB NUMBER:
19023-953

DESCRIPTION:
OVERALL
PROPOSED
SITE PLAN

SHEET

C0.20